

I, JASON BERNHEIMER, THE UNDERSIGNED AND THE OWNER'S / APPLICANT'S AUTHORIZED REPRESENTATIVE OF THE DRAWINGS INCLUDED HEREIN, DO HEREBY STATE THAT I HAVE REVIEWED THESE DRAWINGS, THEIR CONTENTS, LEGENDS, AND DATA, THAT I AM FAMILIAR WITH SAME AND DO HEREBY CONSENT TO ALL ILLUSTRATIONS, TERMS, AND CONDITIONS NOTED ON THESE DRAWINGS.

PLANNING BOARD APPROVAL
VILLAGE OF PIERMONT

SIGNED THIS _____ DAY OF _____ 20____

VILLAGE OF PIERMONT PLANNING BOARD CHAIR

M&T BANK

**527 PIERMONT AVENUE
VILLAGE OF PIERMONT
COUNTY OF ROCKLAND, NEW YORK**

ARCHITECT

BATTOGLIA LANZA ARCHITECTURAL GROUP P.C.

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NOTES

- A. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODES AND TO THE STANDARDS FOR DESIGN SPECIFIC REGULATIONS OF THE COUNTY OF ROCKLAND, THE CODE OF THE VILLAGE OF PERMONT, AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
 - B. PROJECT MATERIALS SHALL BE PROVIDED BY THE OWNER BY A SINGLE FIRM CONTRACTOR.
 - C. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE IMPLEMENTATION OF ITS CONTRACT FROM ANY AND ALL AGENCIES HAVING JURISDICTION AND SHALL ARRANGE FOR THE OBTAINING OF SUCH PERMITS. THE OWNER SHALL BE RESPONSIBLE FOR PAYING FOR AND OBTAINING A BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE IN THE CASE MAY BE.
 - D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION, FABRICATION, OR MANUFACTURING.
 - E. AMONG OTHER REQUIREMENTS OF THE BUILDING DEPARTMENT, THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT FOR ALL REQUIRED INSPECTIONS RELATING TO WORK UNDER ITS CONTRACT.
 - F. THE CONTRACTOR SHALL COOPERATE AND COORDINATE THE WORK OF ITS TRADES. SAME SHALL BE DONE PRIOR TO THE ORDERING, FABRICATION, AND CONSTRUCTION OF THE RESPECTIVE ITEMS ASSEMBLIES AND SYSTEMS.
 - G. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS, INCLUDING ALL STANDARDS REFERRED TO HEREIN. THE CONTRACTOR SHALL SO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURERS WHOSE ITEMS ARE BEING INCORPORATED INTO THE WORK. BUT IN NO CASE SHALL THE CONTRACTOR BE RELIEVED OF THE MINIMUM REQUIREMENTS OF THESE CONTRACT DOCUMENTS. ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES.
 - H. THE CONTRACTOR SHALL PROVIDE THE WORK SCHEDULE THAT SHALL INCLUDE THE WORK OF ALL TRADES AND IT SHALL COMPLY WITH THE REQUIRED DATE OF SUBSTANTIAL COMPLETION. SAME SHALL BE REVIEWED BY THE OWNER, WHICH SHALL OFFER COMMENTS AND SUGGESTIONS, AND OTHERWISE COOPERATE WITH THE CONTRACTOR AS REQUIRED TO REVISE AND FINISH THE SCHEDULE SO THAT IT ACCORDS WITH THE REQUIRED DATE OF SUBSTANTIAL COMPLETION. THE OWNER, WHILE COMPLYING WITH THE REQUIRED DATE OF SUBSTANTIAL COMPLETION, ONCE THE WORK SCHEDULE IS APPROVED BY THE CONTRACTOR SHALL STRICTLY ADHERE TO SAME AND TAKE WHATEVER STEPS ARE NECESSARY TO AVOID DELAYS.
 - I. THE CONTRACTOR SHALL KEEP THE OWNER INFORMED OF ITS WORK SCHEDULE AND SHALL COORDINATE ITS SCHEDULE WITH THE OWNER'S SCHEDULE.
 - J. ALL BUILDING PENETRATIONS, AS MAY BE REQUIRED, SHALL BE PROTECTED FROM THE ELEMENTS OF WEATHER AND STRUCTURAL PRECIPITATIONS AS REQUIRED TO PROTECT ALL PEOPLE AND PROPERTY FROM HAZARDOUS CONDITIONS SHALL BE IMPLEMENTED.
 - K. SHORINGS AND BRACINGS SHALL BE PROVIDED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE EXCAVATIONS, STRUCTURE, CONSTRUCTION OPERATION UNTIL ALL PERMANENT STRUCTURAL COMPONENTS ARE INSTALLED, ANCHORED, AND BRACED.
 - L. PROTECTION OF ADJACENT AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - M. SITE SAFETY DURING THE COURSE OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS REPRESENTED BY THE CONTRACT DOCUMENTS, ASSUMED EXISTING CONDITIONS AND ACTUAL EXISTING CONDITIONS PRIOR TO ANY WORK BEING DONE INVOLVING SUCH CONDITIONS.
 - N. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITION THAT, IN ITS OPINION, MIGHT ENDANGER THE STABILITY OF ANY STRUCTURE OR CAUSE DISTRESS TO ANY STRUCTURE.
 - O. IT IS PARAMOUNT THAT CONVENIENCES TO EXISTING PROJECT OPERATIONS, ADJACENT BUSINESSES, RESIDENCES, DRIVERS, AND THE GENERAL PUBLIC BE KEPT TO A MINIMUM. ACCORDINGLY, THE CONTRACTOR SHALL OBSERVE THE SEQUENCE OF ITS WORK OPERATIONS AND SHALL RESPECT THE OWNER'S APPROVAL OF SAME PRIOR TO THE COMMENCEMENT OF WORK OF SUCH APPROVAL. WORK SHALL NOT RELIEVE THE CONTRACTOR OF ITS RESPONSIBILITY TO MINIMIZE INCONVENIENCES AND DISRUPTIONS.
 - P. THE CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS PREPARED BY THE MANUFACTURERS OF THE ITEMS ASSEMBLIES AND SYSTEMS AS PREPARED BY THE CONTRACTOR WITH THE DESIGNS OF THE ITEMS ASSEMBLIES AND SYSTEMS AS PREPARED BY OTHERS. SAME SHALL BE DONE PRIOR TO THE MANUFACTURING, FABRICATION, AND CONSTRUCTION OF THE ITEMS ASSEMBLIES AND SYSTEMS.
 - Q. ALL WORK INDICATED IN THESE CONTRACT DOCUMENTS SHALL BE NEW WORK UNLESS OTHERWISE NOTED.
 - R. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW WORK, ANY WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 - S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, PATCHING, PAINTING, AND FINISHING THAT IS MADE BY THE CONTRACTOR OR BY THE RESPECTIVE TRADES OF THE CONTRACTOR. PATCHING AND FINISHING SHALL BE ACCOMPLISHED WITH THE SAME MATERIALS THAT WENT OUT AND THE CONDITIONS SHALL BE RESTORED TO THE SAME AS BEFORE THE WORK WITH REGARD TO MATERIALS, COLORS, TEXTURES, AESTHETICS, AND STRUCTURAL INTEGRITY.

DEMOLITION

 - A. DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - B. ALL MATERIALS, EQUIPMENT, DEBRIS, ETC., BEING DEMOLISHED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE. SAME SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR FOR DISPOSAL. EMBANKMENT SHALL BE DISPOSED OF IN ACCORDANCE WITH THE COUNTY, STATE, AND FEDERAL LAWS.
 - C. ALL SITE WORK, GENERAL CONSTRUCTION, PLUMBING, HVAC, ELECTRICAL, LIFE SAFETY, TELEPHONE, DATA, AUDIO-VISUAL, COMMUNICATION, AND OTHER WORK SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO THE INSTALLATION OF THE NEW WORK. SUCH RESPECTIVE SYSTEMS SHALL BE REPLACED AND/OR RECONNECTED BY THE CONTRACTOR AS SPECIFIED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND TO MEET ALL APPLICABLE CODES AND STANDARDS. GENERALLY, ITEMS WHOSE REMOVAL OR RELOCATION IS REQUIRED, ARE REPRESENTED BY HIDDEN (DASHED) LINES ON THE DEMOLITION DRAWINGS. HOWEVER, IF SHALL NOT BE ASSUMED THAT ITEMS REPRESENTED BY HIDDEN (DASHED) LINES ON THE DRAWINGS ARE TO BE REMOVED OR RELOCATION.
 - D. SHORINGS AND BRACINGS SHALL BE PROVIDED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE EXCAVATIONS, STRUCTURES, SYSTEMS, AND THE WORK DURING THE CONSTRUCTION OPERATION UNTIL ALL PERMANENT STRUCTURAL COMPONENTS ARE INSTALLED, CURED, ANCHORED AND BRACED.
 - E. THE CONTRACTOR SHALL INCLUDE THE REQUIREMENTS OF THE RESPECTIVE FOUNDATIONS, UNLESS OTHERWISE NOTED.
 - F. WHERE VEGETATION IS SCHEDULED FOR REMOVAL, OR IS OTHERWISE REQUIRED TO BE REMOVED IN ORDER TO PERFORM OTHER WORK, THE CONTRACTOR SHALL COMPLETELY REMOVE THE RESPECTIVE STUMPS AND ROOT SYSTEMS.
 - G. THE OWNER SHALL REMOVE ITEMS AS IS REASONABLY REQUIRED FOR THE CONTRACTOR TO PERFORM ITS WORK, TO THE EXTENT THAT THE OWNER WISHES SUCH ITEMS TO BE REINSTALLED. THE OWNER SHALL REINSTATE SAME.

EARTHWORK

 - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FILLING, GRADING, EXCAVATION, FILL, BACKFILL, SUBGRADE, BEDDING, AND COMPACTED FILLING OF THE PROJECT AREA TO THE SATISFACTION OF THE OWNER.
 - B. UNLESS OTHERWISE NOTED, ALL FILL AND BACKFILL SHALL BE A POROUS GRAVEL MATERIAL, CONFORMING TO THE FOLLOWING GRADATION:

SQUARE MESH SIEVES	GRADING PERCENT PASSING BY WEIGHT
NO. 10	100
PASS #3 1/2"	100-100
PASS #4 3/4"	100-100
PASS #10	25-45
PASS #20	10-25
PASS #40	5-10
PASS #60	0-10
PASS NO. 200	0-5

 - C. ALL SUBBASE MATERIAL UNDER BITUMINOUS CONCRETE PAVING, EXTERIOR CONCRETE SLABS, WALKS, RAMP, TRENCH DRAINS, AND CATCH BASINS SHALL BE TYPE III PER 2 (304-2).
 - D. ALL SUBBASE, FILL, AND BACKFILL MATERIAL, AS WELL AS SUBGRADERS SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY OBTAINABLE UNDER ASTM DESIGNATION D1557 METHOD D.
 - E. UNLESS OTHERWISE NOTED, ALL FILLING DISTURBED OR FILLED SHALL RECEIVE A 4" MINIMUM OF TOPSOIL AND SHALL BE SEEDED AND MULCHED (45% KENTUCKY BLUEGRASS, 25% RED FESCUE AND 30% PERENNIAL RYEGRASS).
 - F. ALL IMPORTED (BORROW) SOILS SHALL MEET THE REQUIREMENTS FOR UNRESTRICTED USE SOIL CLEANUP OBJECTIVES SPECIFIED UNDER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) CHAPTER 14-QUALITY PROTECTION, SUBPART 375-8 AND SOIL GUIDANCE POLICY. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DOCUMENTARY EVIDENCE TO THE OWNER THAT SOILS PROPOSED FOR IMPORTATION COMPLY WITH SUCH REQUIREMENTS. SUCH EVIDENCE SHALL BE PROVIDED AND APPROVED BY THE OWNER PRIOR TO IMPORTING SUCH SOILS.
 - G. BIDDERS ARE ENCOURAGED TO PERFORM ANY SITE EXPLORATION THAT THEY BELIEVE IS NECESSARY TO FULLY UNDERSTAND THE CONDITIONS IN THE WORK AREA PRIOR TO THE SUBMISSION OF THEIR BIDS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR SUCH EXPLORATION SHALL BE MADE WITH AND APPROVED BY THE OWNER PRIOR TO THE START OF THE WORK. THE CONTRACTOR SHALL OBTAIN AN INSURANCE AND AN INDEMNIFICATION FROM THE OWNER'S ATTORNEY WILL ALSO BE CONDITIONS OF SUCH SITE ACCESS. ALL WORK SHALL BE INCLUDED IN THE BASE BIDS AS REQUIRED TO ACCOMMODATE ACTUAL SUBSURFACE CONDITIONS AND THE CONTRACTOR SHALL NOT BE ENTITLED TO ADDITIONAL COMPENSATION FOR ANY COST TO ITSELF ITSELF OF THE ACTUAL CONDITIONS PRIOR TO ITS SUBMISSION OF A BID.

NOT USED

5. CONCRETE

 - A. ALL CONCRETE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - B. UNLESS OTHERWISE NOTED, ALL PLACING OF CONCRETE SHALL BE IN ACCORDANCE WITH THE AG MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 915 - LATEST EDITION), UNLESS OTHERWISE NOTED.
 - C. THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 918) SHALL GOVERN FOR ALL CONCRETE WORK.
 - D. REINFORCING BARS SHALL CONFORM TO ASTM A615 - GRADE 60 WELDED REINFORCEMENT (WVR) SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE.
 - E. ALL REINFORCING SHALL BE CONTINUOUS AND SHALL HAVE LAPPED SPLICES WITH HOOKS AT CORNERS AND NON-CONTINUOUS ENDS.
 - F. UNLESS OTHERWISE NOTED, MINIMUM LAPS OR EMBEDMENT SHALL BE 30 BAR DIAMETERS.
 - G. WELDED REINFORCING SHALL HAVE END AND SIDE LAPS OF ONE FULL MESH AND SHALL BE EXTENDED FULLY INTO THE CONDITION, UNLESS OTHERWISE NOTED.
 - H. BAR AND WELDED REINFORCEMENT PROTECTION SHALL BE AS INDICATED IN THE DETAILS.
 - I. DETAILING AND AMOUNT OF REINFORCING FOR CONDITIONS NOT SHOWN ON THESE DRAWINGS SHALL BE PROVIDED AS SHOWN IN SIMILAR CONDITIONS. CONTRACTOR SHALL ACCOMMODATE AND COORDINATE OTHER OBJECTS THAT MAY AFFECT PLACEMENT OF REINFORCING BARS, WELDED REINFORCING, CONCRETE, AND OTHER ITEMS.
 - J. CONCRETE JOINT CLASSES (ALL CONCRETE SHALL BE NORMAL WEIGHT).
 - K. 1. NOT USED.
 - L. 2. NOT USED.
 - M. 3. NOT USED.
 - N. 4. NOT USED.
 - O. 5. NOT USED.
 - P. 6. RETAINING WALLS, EXTERIOR SLABS, WALLS, PADS, RAMP, CURBS, AND TRENCH DRAINS - 4000 PSI AT 28 DAYS, 2" OF SLUMP, AGGREGATE SIZE 3/4" TO NO. 4, AIR ENTRAINING AGENT (4.5% TO 7.5%), TAPER REDUCING ADHESIVE (BONDING AGENT) SHALL BE PROVIDED FOR PERPENDICULAR JOINTS IN WALLS, INSTALL 1/2" FREDMOLD JOINT FILLER WITH TEAR-OFF STRIP AND CAULK WITH MASTIC SEALANT, DISCONTINUE REINFORCEMENT AT JOINTS.
 - Q. CURBS - 4000 PSI AT 28 DAYS, 2" OF SLUMP, AGGREGATE SIZE 3/4" TO NO. 4, AIR ENTRAINING AGENT (4.5% TO 7.5%), TAPER REDUCING ADHESIVE (BONDING AGENT) SHALL BE PROVIDED FOR PERPENDICULAR JOINTS IN WALLS, INSTALL 1/2" FREDMOLD JOINT FILLER WITH TEAR-OFF STRIP AND CAULK WITH MASTIC SEALANT, 2" FREDMOLD DISCONTINUE REINFORCING AT JOINTS.
 - R. EXTERIOR SLABS - 4000 PSI AT 28 DAYS, 2" OF SLUMP, AGGREGATE SIZE 3/4" TO NO. 4, AIR ENTRAINING AGENT (4.5% TO 7.5%), TAPER REDUCING ADHESIVE (BONDING AGENT) SHALL BE PROVIDED FOR PERPENDICULAR JOINTS IN WALLS, INSTALL 1/2" FREDMOLD JOINT FILLER WITH TEAR-OFF STRIP AND CAULK WITH MASTIC SEALANT, 2" FREDMOLD DISCONTINUE REINFORCING AT JOINTS.
 - S. 3. NOT USED.
 - T. 4. NOT USED.
 - U. 5. NOT USED.
 - V. 6. NOT USED.
 - W. 7. NOT USED.
 - X. 8. NOT USED.
 - Y. 9. NOT USED.
 - Z. 10. NOT USED.

11. SOIL EROSION AND SEDIMENT CONTROL

 - A. ALL SEDIMENT AND EROSION CONTROL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - B. THE PURPOSE - ALL CONSTRUCTION ACTIVITIES INVOLVING THE REMOVAL OR DEPOSITION OF SOILS ARE TO BE PROVIDED WITH APPROPRIATE MEASURES TO MINIMIZE EROSION OF, AND CONTAIN SEDIMENT DEPOSITION, WITHIN THE AREA UNDER DEVELOPMENT. SOME SUCH METHODS ARE DESCRIBED HEREIN. HOWEVER, THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF PERMONT, THE SOIL EROSION AND CONTROL REGULATIONS PUBLISHED BY ROCKLAND COUNTY, AS WELL AS THE REGULATION ENTITLED NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) CHAPTER 14-QUALITY PROTECTION, SUBPART 375-8 AND SOIL GUIDANCE POLICY.
 - C. GENERAL GUIDELINES
 - D. 1. WHEREVER FEASIBLE, NATURAL

ABBREVIATIONS

ASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	LP	LIGHT POLE
AGI	AMERICAN CONCRETE INSTITUTE	LT	LIGHT
AGS	AMERICANS WITH DISABILITIES ACT	MA	MANHOLE
AFF	ABOVE FINISH FLOOR	MATL	MATERIAL
AHL	AUTHORITY HAVING JURISDICTION	MFGD	MANUFACTURED
ALT	ALTERNATE	MFR	MANUFACTURER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MR	MANHOLE
APPROX	APPROXIMATE	MN	MINIMUM, MINUTE
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	MISC	MISCELLANEOUS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MM	MILLIMETER
BB	BELGIAN BLOCK	MUTC	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
BC	BOTTOM OF CURB	N	NORTH
BET	BETWEEN	N	NORTH
BIT	BITUMINOUS	(N)	NEAR
BLK	BLOCK	N/P	NOT APPLICABLE
BLK	BLOCK	N/P	NOT OR FORMERLY
BSK	BRICK	NO	NOMINAL DIMENSION, NOMINAL DIAMETER
BT	BOTTOM OF TRENCH	NC	NOT IN CONTRACT
BW	BOTTOM OF WALL	NUMBER	NUMBER
CB	CATCH BASIN	NSF	NET SQUARE FOOTAGE
CI	CAST IRON	NYCR	NEW YORK CODE OF RULES AND REGULATIONS
CJ	CONTROL JOINT	NYSDC	NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
CL	CLEAR	NYSDOT	NEW YORK STATE DEPARTMENT OF TRANSPORTATION
CMP	CHANNEL LINK FENCE	CC	ON CENTER
CHU	CORRUGATED METAL PIPE	CO	OUTSIDE DIAMETER
CO	CONCRETE MASONRY UNIT	OH	OVERHEAD
COL	COLUMN	OPH	OVERHEAD WIRES
COMP	COMPRESSOR	OPP	OPPOSITE
CONC	CONCRETE	PIANT	PIANT
COND	CONDENSER	PERF	PERFORATED
CONN	CONNECTION	PERM	PERMETER
CONST	CONSTRUCTION	PANS	PARKING
CONT	CONTINUOUS	POUR	POURED IN PLACE
CONTR	CONTRACTOR	PRFAB	PREFABRICATED
CRACK	CRACK	PSF	POUNDS PER SQUARE FOOT
CU FT	CUBIC FEET	PSI	POUNDS PER SQUARE INCH
DBL	DOUBLE	PSIG	POUNDS PER SQUARE INCH - GAUGE (INCLUDING ATMOSPHERIC PRESSURE)
DEPT	DEPARTMENT	PVC	POLYVINYLCHLORIDE
DETAL	DETAIL	(R)	REMOVE
DI	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DM	DIMENSION	RCP	REINFORCED CONCRETE PIPE
DN	DUCTILE IRON PIPE	RD	ROAD DRAIN
DOWN	DOWN	REIN	REINFORCE, REINFORCEMENT
DWG	DRAWING	REQD	REQUIRED
E	EAST	RET	RETAINING
E	EAST	RL	ROOF LEADER
(E)	EXISTING, EXISTS TO REMAIN	(RL)	REMOVE AND RELOCATE / REINSTALL
EACH	EACH	RY	REAR YARD
EA	ELEVATION	S	SOUTH
EL	ELECTRIC, ELECTRICAL	S	SOUTH
ENCL	ENCLOSURE	SCHD	SCHEDULE
EQUL	EQUAL	SEP	SEPARATION
E	EACH SIDE	SEQR(A)	STATE ENVIRONMENTAL QUALITY REVIEW (ACT)
EXP	EXPANSION	SF	SQUARE FEET
EM	EACH WAY	SAT	SHEET
EXIST	EXISTING	SH	SHALLAR
EXP	EXPANSION	SL	SELF-LEVELING
EXT	EXTERIOR	SP	SPACES
FED	FEDERAL	SPEC(S)	SPECIFICATION(S)
FF	FINISH FLOOR	STD	STANDARD
FN	FINISH	STG	SPILL TO GRADE
FN	FINISH	STL	STEEL
FOUND	FOUNDATION	STOR	STORAGE
FT	FEET FOOT	SW	STANDARD WEIGHT
FTS	FOOTING	SY	SIDE YARD
FY	FRONT YARD	SY	SYSTEM
GAL	GALLON, GALLONS	TBD	TO BE DETERMINED
GALV	GALVANIZED	TBS	TOP AND BOTTOM
GPD	GALLONS PER DAY	TG	TOP OF CURB
GPM	GALLONS PER MINUTE	TEMP	TEMPORARY
GSP	GROSS SQUARE FOOTAGE	THK	THICKNESS
GV	GAS VALVE	THRU	THROUGH
H	HEIGHT	TS	TOP OF SLAB
HC	HANDICAP	TY	TOP OF WALL
HDPE	HIGH-DENSITY POLYETHYLENE	TY	TYPICAL
HDWR	HARDWARE	UG	UNDERGROUND
HORIZ	HORIZONTAL	UNDWR	UNDERWRITERS LABORATORIES, INC.
HR	HOUR, HANDRAIL	UN	UNLESS OTHERWISE NOTED
HT	HEIGHT, HIGH	UTL	UTILITY POLE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	VERT	VERTICAL
HYD	(FIRE) HYDRANT	VIF	VERIFY IN THE FIELD
		W	WEST, WIDTH
		W	WEST
		WTH	WITH
ID	INSIDE DIAMETER	WL	WALL LIGHT, WATER LINE
INCL	INCLUDE, INCLUDING	WP	WORK POINT
INFO	INFORMATION	WR	WATER-RESISTANT
JT	JOINT	XT	HEIGHT
KSF	KIPS PER SQUARE INCH	XV	WATER VALVE
L	LONG	XWR	WELDED WIRE REINFORCEMENT
LB	POUND	XH	EXTRA HEAVY
LL	LINE LOAD	YD	YARD

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BERNARD J. LANZA - NY LICENSE NO. 17638

DEBORAH C. LANZA - NY LICENSE NO. 29868
REGISTRATION EXPIRES 11-30-26

ISSUED FOR SITE PLAN
APPROVAL AND BIDDING
ONLY NOT FOR
CONSTRUCTION

PROPOSED EXTERIOR IMPROVEMENTS TO

M&T BANK

527 PIERMONT AVENUE
VILLAGE OF PIERMONT
COUNTY OF ROCKLAND, NEW YORK

REVISION SCHEDULE		
NUMBER	DATE	DESCRIPTION
1	5-15-25	ADDED REFERENCE TO SECTIONS 239-L AND 239-M OF GML, ADDED C2 AND REVISION DATES TO INDEX

COVER SHEET - NOTES
ABBREVIATIONS

PROJECT NUMBER: 2407
ISSUE DATE: MAY 8, 2025
DRAWN BY:
CHECKED BY: BL

C1

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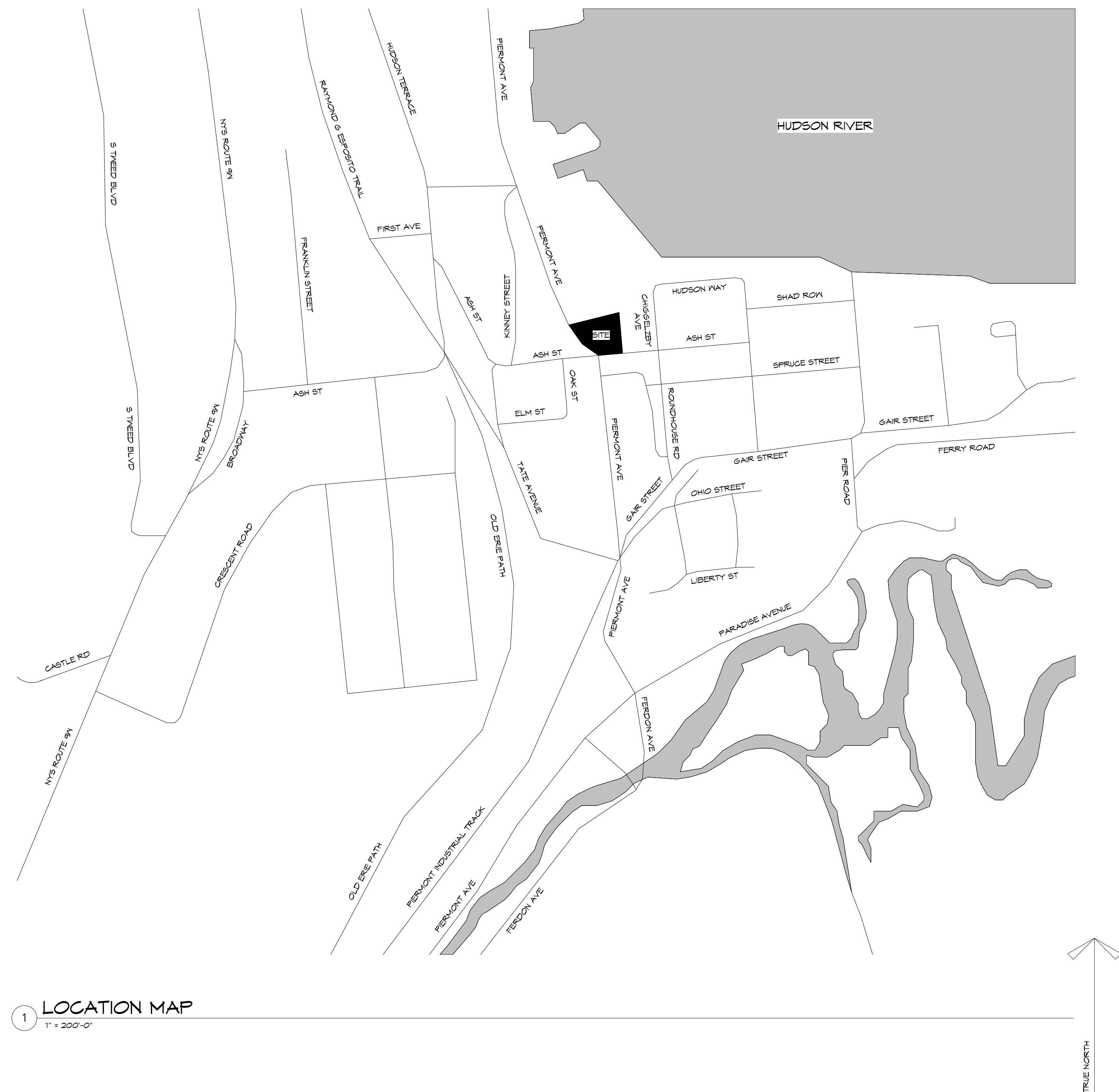
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REGISTRATION EXPIRES 11-30-26

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APPROVAL AND BIDDING
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CONSTRUCTION

527 PIERMONT AVENUE
VILLAGE OF PIERMONT
COUNTY OF ROCKLAND, NEW YORK

NUMBER	DATE	DESCRIPTION
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PROJECT NUMBER: 2407
ISSUE DATE: MAY 15, 2025
DRAWN BY:
CHECKED BY: BL



ITEM	REGULATION	EXISTING CONDITION	PROPOSED CONDITION
OWNER / APPLICANT		MANUFACTURERS AND TRADERS TRUST COMPANY (MT BANK)	MANUFACTURERS AND TRADERS TRUST COMPANY (MT BANK)
OWNER'S / APPLICANT'S ADDRESS		CNE MT PLAZA, BUFFALO, NY 12403	CNE MT PLAZA, BUFFALO, NY 12403
OWNER'S REPRESENTATIVE PHONE NUMBER (ARCHITECT)		645-656-6711	645-656-6711
TAX MAP NUMBER OF PROPERTY		75.54-2-24	75.54-2-24
ADDRESS OF PROPERTY		521 PIERMONT AVE, PIERMONT NY 10965	521 PIERMONT AVE, PIERMONT NY 10965
ZONING DISTRICT	VILLAGE OF PIERMONT ZONING MAP	CBM - CENTRAL MULTI-USE BUSINESS	CBM - CENTRAL MULTI-USE BUSINESS
SCHOOL DISTRICT		SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT	SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT
AMBULANCE DISTRICT		SOUTH ORANGETOWN AMBULANCE CORP	SOUTH ORANGETOWN AMBULANCE CORP
POSTAL DISTRICT		PIERMONT (10965)	PIERMONT (10965)
FIRE DISTRICT		PIERMONT	PIERMONT
SEWER DISTRICT		ORANGETOWN	ORANGETOWN
PERMITTED PRINCIPAL USES	PROFESSIONAL, GOVERNMENTAL AND BUSINESS OFFICES (BANKING) (§ 210-61.2.A AND GENERAL USE REGULATIONS PART 3)	BANKING	BANKING
PERMITTED ACCESSORY USES	ACCESSORY PARKING AND SIGNS (§ 210-61.3.A AND GENERAL USE REGULATIONS PART 3)	ACCESSORY PARKING AND SIGNS	ACCESSORY PARKING AND SIGNS
LOT AREA	1,700 SF MINIMUM (§ 210-61.6.D.(1))	16,922.03 SF	16,922.03 SF
LOT WIDTH	25 FT MINIMUM (§ 210-61.6.D.(2))	121' - 1.5/8"	121' - 1.5/8"
FRONT YARD	0 FT MINIMUM (§ 210-61.6.D.(3))	46' - 0"	46' - 0"
SIDE YARD	0 FT MINIMUM, EXCEPT 10 FT MINIMUM IF A SIDE YARD IS PROVIDED (§ 210-61.6.D.(4))	51' - 6" (EAST) 30' - 6 3/8" (WEST)	51' - 6" (EAST) 30' - 6 3/8" (WEST)
SIDE YARD SUM TOTAL	0 FT MINIMUM (§ 210-61.6.D.(5))	82' - 0 3/8"	82' - 0 3/8"
BUILDING HEIGHT	3-STORIES / 35 FT MAXIMUM (§ 210-61.6.D.(7))	1-STORY / 13' - 4"	1-STORY / 13' - 4"
BUILDING COVERAGE		1,556.63 SF (INCLUDING CANOPY)	1,556.63 SF (INCLUDING CANOPY)
BUILDING FLOOR AREA		1,556.63 SF (INCLUDING CANOPY)	1,556.63 SF (INCLUDING CANOPY)
FLOOR AREA RATIO (FAR)	1.0 MAXIMUM (§ 210-61.6.D.(6))	(1,556.63 / 16,922.03) = 0.092	(1,556.63 / 16,922.03) = 0.092
PAVING COVERAGE		10,356.03 SF (EXCLUDING UNDER CANOPY)	10,649.03 SF (EXCLUDING UNDER CANOPY)
TOTAL IMPERVIOUS COVERAGE		(1,556.63 + 10,356.03) = 11,912.66 SF	(1,556.63 + 10,649.03) = 12,245.66 SF (836.20 SF INCREASE OR (836.20 / 11,912.66) = 2.82% INCREASE)
OFF-STREET PARKING	MINIMUM QUANTITY OF SPACES (§ 210-65.1) SPACE PER 150 SF OR (1556.63 / 150) = 11 SPACES	11 SPACES	11 SPACES
	MINIMUM SIZE OF SPACES (CHARLIE SCHAUB 4-11-24) 9 FT WIDE X 15 FT LONG	9 FT WIDE X 15 FT LONG	9 FT WIDE X 15 FT LONG

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REGISTRATION EXPIRES 5-31-27
DEBORAH C. LANZA - NY LICENSE NO. 29868
REGISTRATION EXPIRES 11-30-26

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527 PIERMONT AVENUE
VILLAGE OF PIERMONT
COUNTY OF ROCKLAND, NEW YORK

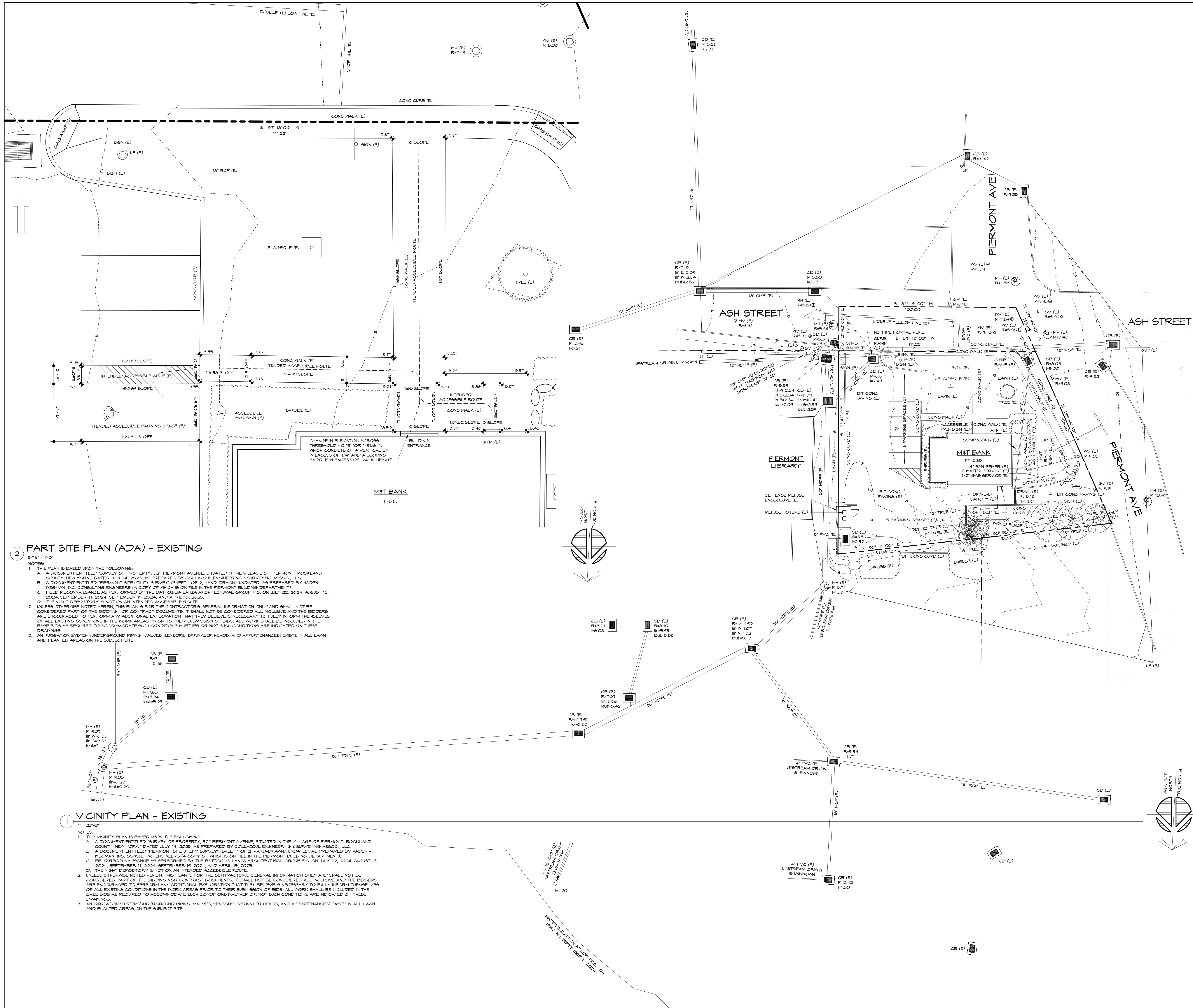
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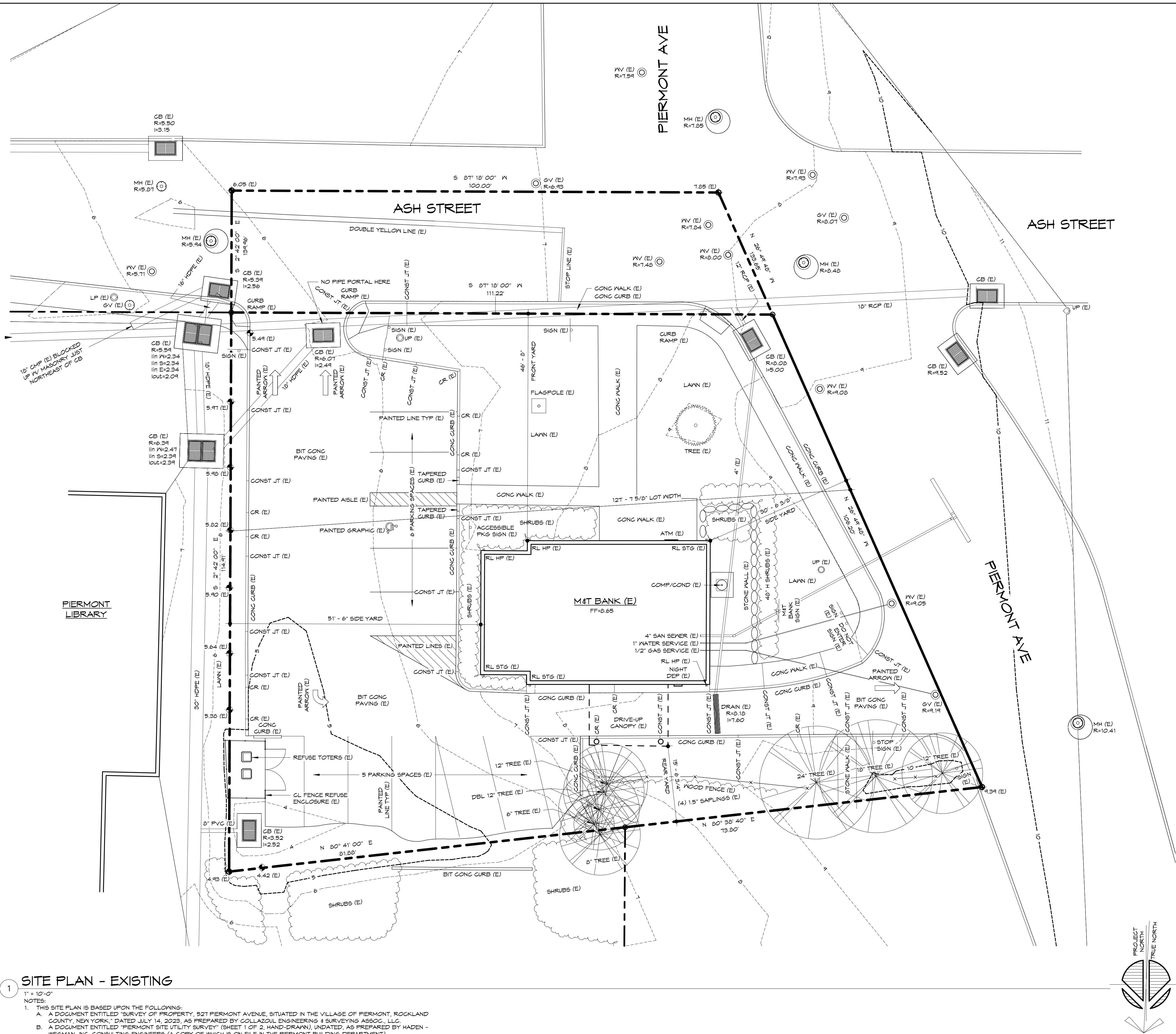
NUMBER	DATE	DESCRIPTION
1	5-8-25	ADDED NOTES

VICINITY PLAN - EXISTING
PART SITE PLAN (ADA) - EXISTING

PROJECT NUMBER: 2407
ISSUE DATE: SEPTEMBER 19, 2024
DRAWN BY:
CHECKED BY: BL

EX1





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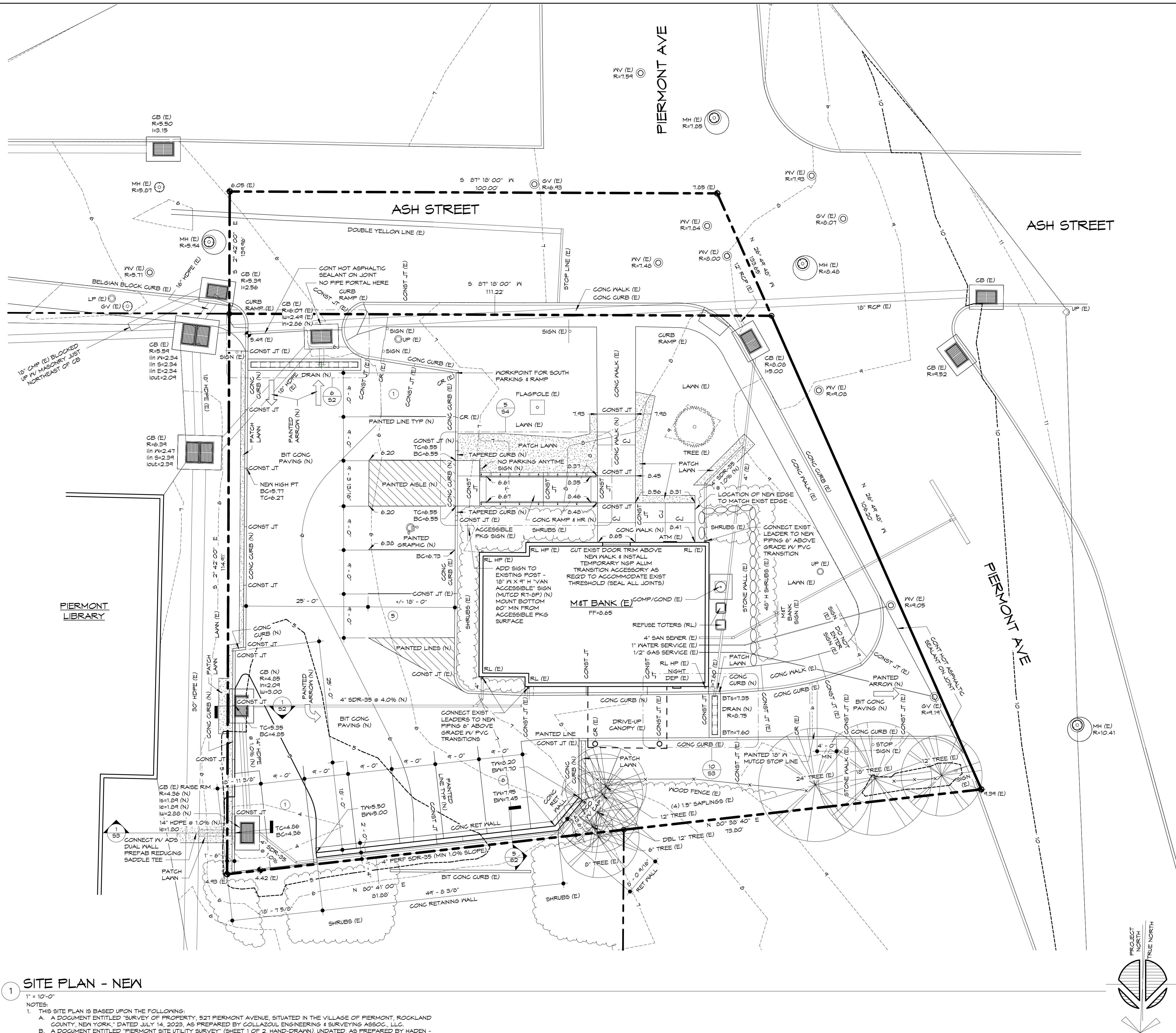
527 PIERMONT AVENUE
VILLAGE OF PIERMONT
COUNTY OF ROCKLAND, NEW YORK

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
1	5-8-25	ADDED INFORMATION AND NOTES
2	5-15-25	ADDED ZONING DIMENSIONS AND SPOT ELEVATIONS AT PROPERTY CORNERS

SITE PLAN - EXISTING

PROJECT NUMBER: 2407
ISSUE DATE: MAY 8, 2025
DRAWN BY:
CHECKED BY: BL



1 SITE PLAN - NEW

- NOTES:
1. THIS SITE PLAN IS BASED UPON THE FOLLOWING:
 - A. A DOCUMENT ENTITLED "SURVEY OF PROPERTY, 527 PIERMONT AVENUE, SITUATED IN THE VILLAGE OF PIERMONT, ROCKLAND COUNTY, NEW YORK," DATED JULY 14, 2023, AS PREPARED BY COLLAZOLI ENGINEERING & SURVEYING ASSOC., LLC.
 - B. A DOCUMENT ENTITLED "PIERMONT SITE UTILITY SURVEY" (SHEET 1 OF 2, HAND-DRAWN), UNDATED, AS PREPARED BY HADEN - REGMAN, INC. CONSULTING ENGINEERS (A COPY OF WHICH IS ON FILE IN THE PIERMONT BUILDING DEPARTMENT).
 - C. FIELD RECONNAISSANCE AS PERFORMED BY THE BATTOGGLIA LANZA ARCHITECTURAL GROUP P.C. ON JULY 22, 2024, AUGUST 13, 2024, SEPTEMBER 11, 2024, SEPTEMBER 14, 2024, AND APRIL 15, 2025.
 - D. THE NIGHT DEPOSITORY IS NOT ON AN INTENDED ACCESSIBLE ROUTE.
 2. AN IRRIGATION SYSTEM (UNDERGROUND PIPING, VALVES, SENSORS, SPRINKLER HEADS, AND APPURTENANCES) EXISTS IN ALL LAWN AND PLANTED AREAS ON THE SUBJECT SITE. TAKE GREAT CARE NOT TO DAMAGE ANY PART OF THE SYSTEM. CUT, PATCH, REPAIR, AND OTHERWISE RELOCATE ANY PART OF THE SYSTEM THAT WILL BE AFFECTED BY THE NEW WORK, INCLUDING CHANGING SPRINKLER HEAD ELEVATIONS AS REQUIRED TO ACCOMMODATE NEW GRASSES.
 3. REMOVE ANY PLANTINGS AS REQUIRED TO PERFORM NEW WORK. SUBSEQUENTLY REPLACE SUCH PLANTINGS WITH NEW PLANTINGS OF THE SAME TYPE, SIZE, QUANTITY, AND LOCATION.
 4. ELEVATION OF NEW BITUMINOUS CONCRETE DRIVE AT DRIVE-UP WINDOW SHALL MATCH EXISTING BITUMINOUS CONCRETE DRIVE AT DRIVE-UP WINDOW.
 5. COLORS OF PAVEMENT LINES, GRAPHICS, AND ARROWS SHALL CONTRAST THE COLOR OF THE PAVING (PER ICC A111.1) AND ADA, AND SHALL MEET WITH THE APPROVAL OF THE VILLAGE OF PIERMONT.
 6. SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR SIDEWALKS AND CURBS.
 7. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTIONS 239-L AND 239-M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

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PROPOSED EXTERIOR
IMPROVEMENTS TO

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527 PIERMONT AVENUE
VILLAGE OF PIERMONT
COUNTY OF ROCKLAND, NEW YORK

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
1	5-8-25	ADDED NOTES
2	5-15-25	ADDED NOTES 6 AND 7, ADDED SPOT ELEVATIONS AT PROPERTY CORNERS

SITE PLAN - NEW

PROJECT NUMBER: 2407
ISSUE DATE: MAY 8, 2025
DRAWN BY:
CHECKED BY: BL

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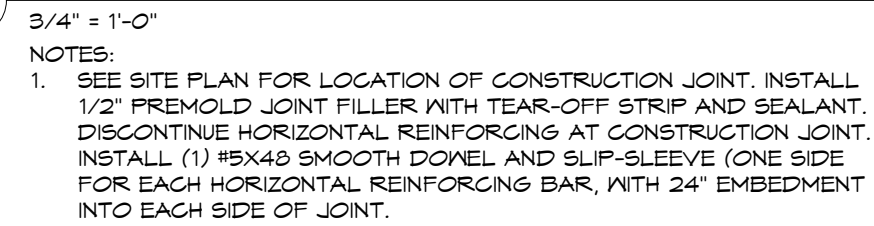


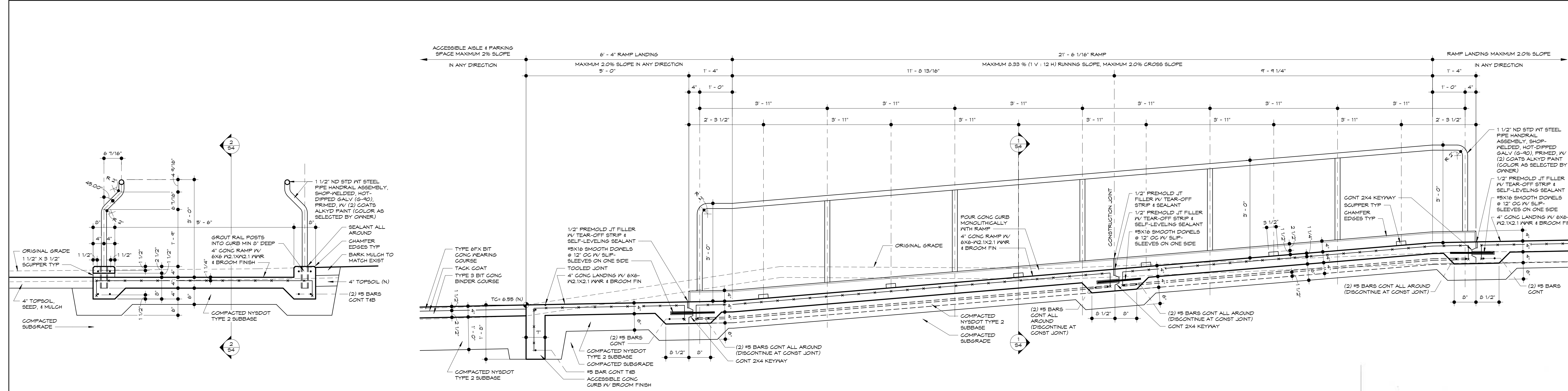
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527 PIERMONT AVENUE
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DRAINAGE AND RETAINING WALL DETAILS

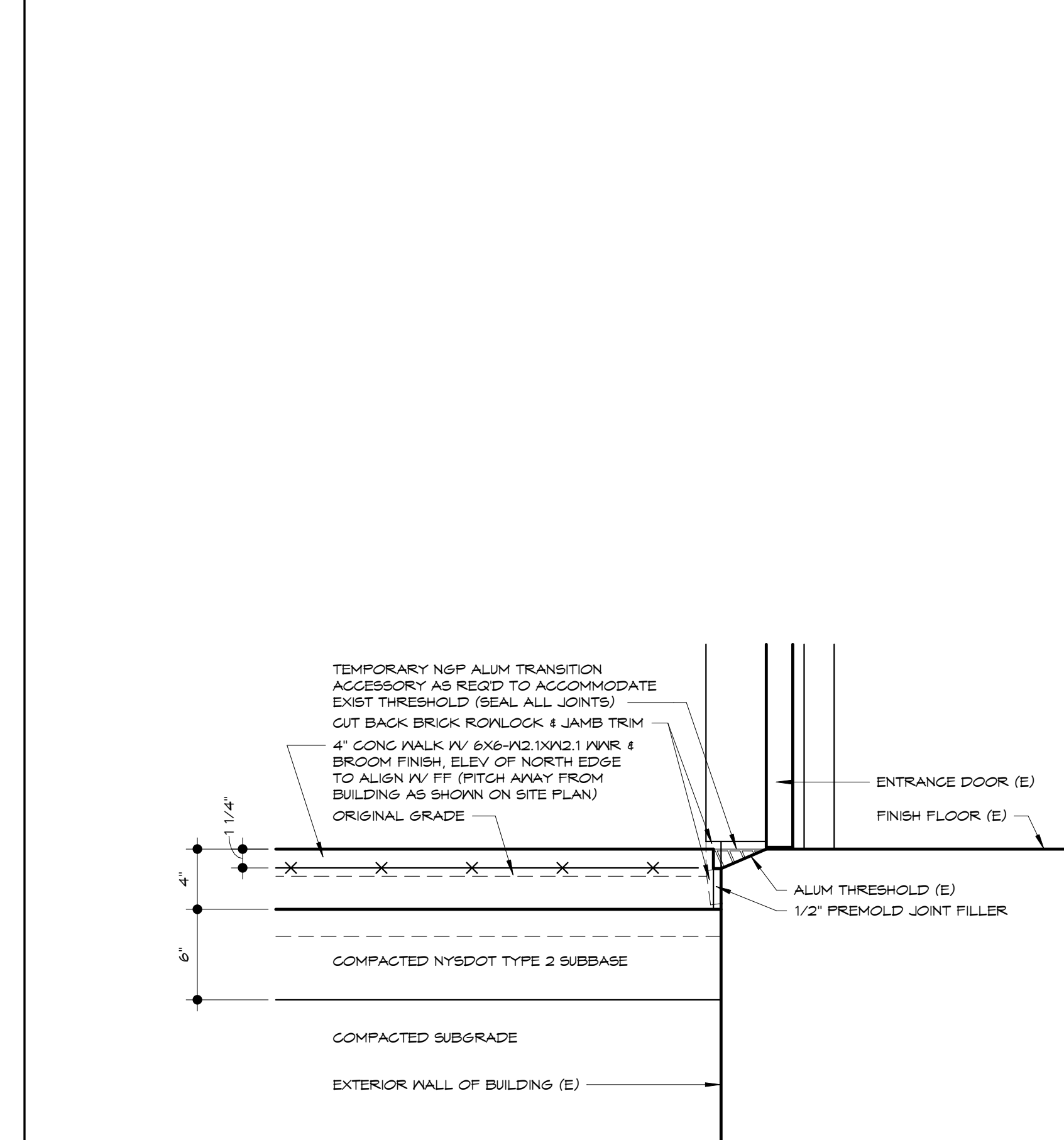
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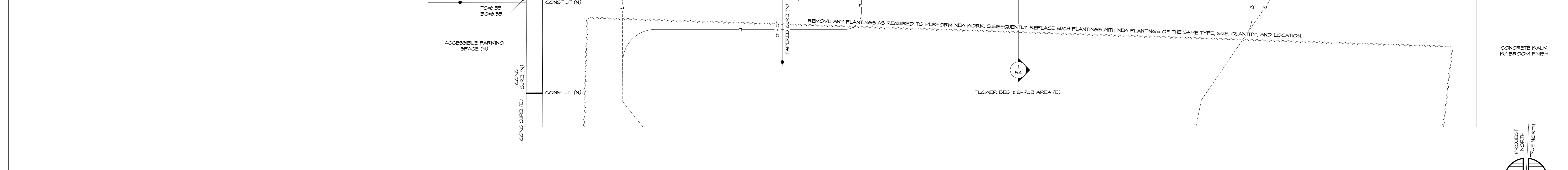
1 SECTION - S-N ACCESSIBLE RAMP - NEW
 3/4" = 1'-0"

NOTES:
 1. EACH SIDE OF RAMP SHALL BE CONSTRUCTED SIMILARLY UNLESS OTHERWISE NOTED.
 2. SEE PLAN 5 ON SHEET 54 FOR REQUIRED RUNNING SLOPE AND CROSS SLOPE.
 3. CORE DRILL HOLES FOR RAIL POSTS MINIMUM OF (7) DAYS AFTER CONCRETE POUR.
 4. DISCONTINUE HORIZONTAL REINFORCING AT CONSTRUCTION JOINT. INSTALL (1) #5X16 SMOOTH DOVEL, AND SLEEVE FOR EACH HORIZONTAL REINFORCING BAR WITH 6" EMBEDMENT INTO EACH SIDE OF JOINT.
 5. SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR SIDEWALKS AND CURBS.



3 DETAIL - WALK AT ENTRANCE
 1 1/2" = 1'-0"

NOTES:
 1. THIS PROJECT REQUIRES REMOVAL AND REPLACEMENT OF BARRIERS AND CONDITIONS THAT DO NOT COMPLY WITH ICC A117.1 AND ADA. IN THE CASE OF THE ENTRANCE DOOR, THE THRESHOLD WORK SPECIFIED HEREIN IS TEMPORARY. THE DOOR, AND HARDWARE (INCLUDING THE EXISTING THRESHOLD AND TEMPORARY TRANSITION ACCESSORY) WILL BE REMOVED AND REPLACED BY OTHERS IN THE FUTURE.
 2. PRE-MOLD JOINT FILLER SHALL EXTEND ALONG THE SOUTH WALL OF THE BUILDING THE FULL LENGTH OF THE NEW CONCRETE WALK. SAME SHALL INCLUDE A TEAR-OFF STRIP, WHICH SHALL BE REMOVED AND CONTINUOUS SELF-LEVELING SEALANT SHALL BE INSTALLED IN THE JOINT.
 3. SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR SIDEWALKS AND CURBS.



5 PLAN - ACCESSIBLE RAMP - NEW
 3/4" = 1'-0"

NOTES:
 1. INFORMATION SHOWN FOR PAINTED LINES SHALL BE TYPICAL FOR PROJECT.
 2. SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR SIDEWALKS AND CURBS.

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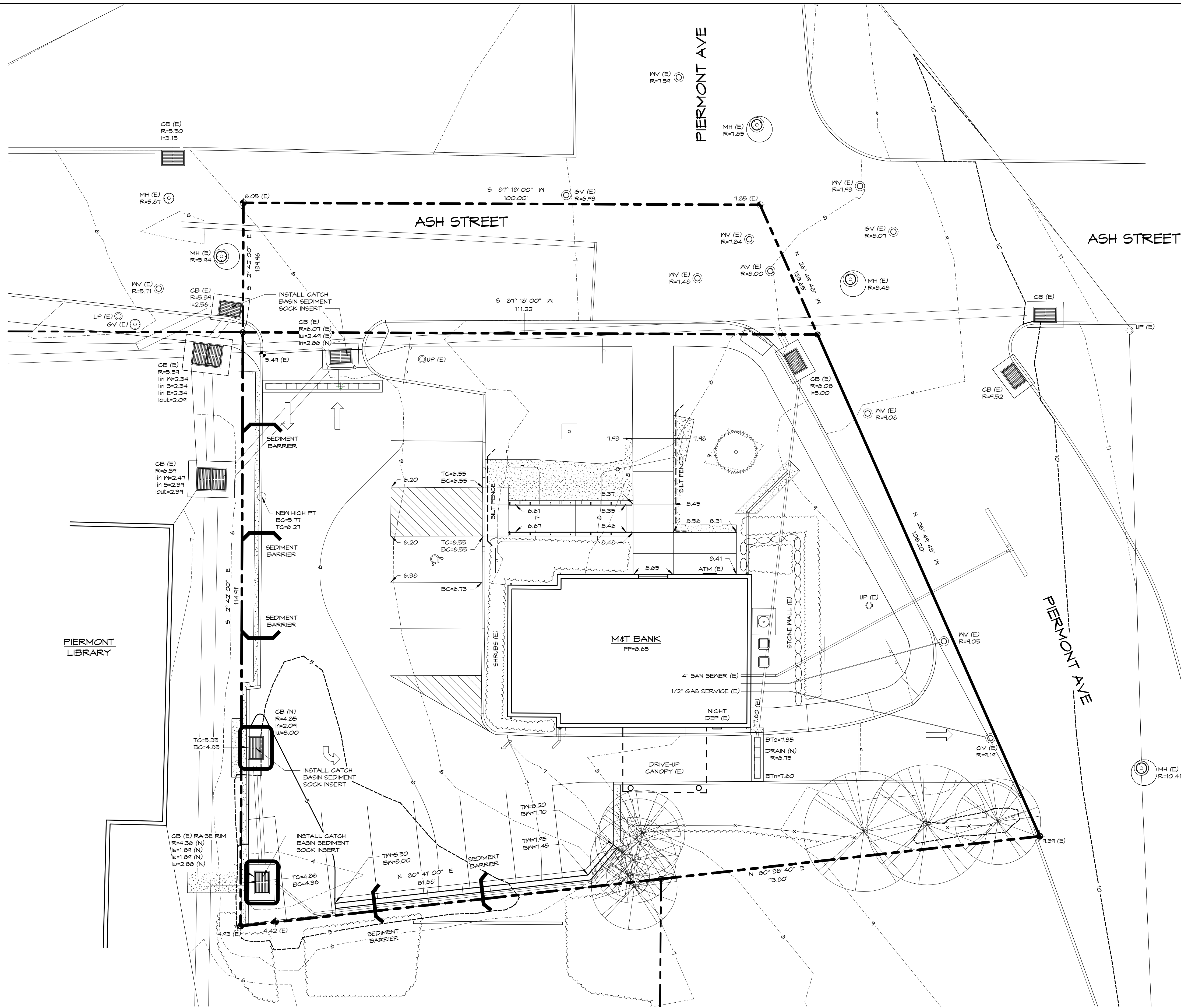
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 VILLAGE OF PIERMONT
 COUNTY OF ROCKLAND, NEW YORK

REVISION SCHEDULE		
NUMBER	DATE	DESCRIPTION
1	5-15-25	ADDED NOTES REGARDING DPW COMPLIANCE FOR WALKS AND CURBS

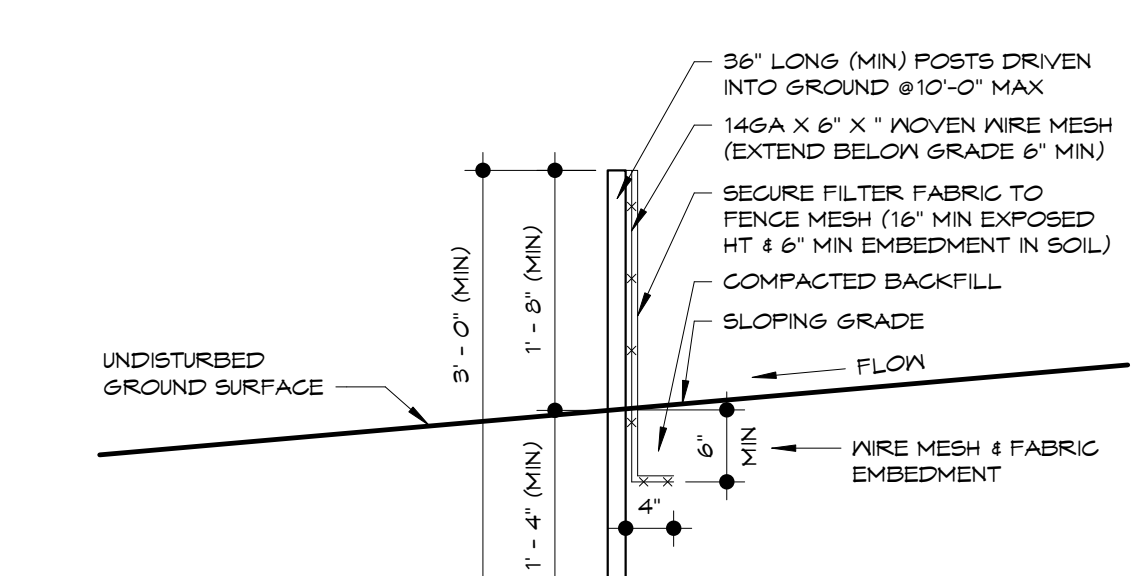
ACCESSIBLE RAMP AND WALK
 DETAILS

PROJECT NUMBER: 2407
 ISSUE DATE: MAY 8, 2025
 DRAWN BY:
 CHECKED BY: BL



1 SOIL EROSION CONTROL PLAN

- 1" = 10'-0"
- NOTES:
- ALL SEDIMENT BARRIERS SHALL BE HEAVY DUTY ULTRA-GRAVEL BAGS AS MANUFACTURED BY ULTRATECH OR APPROVED EQUAL. SAME SHALL BE FILLED WITH CLEAR GRAVEL AS RECOMMENDED BY THE MANUFACTURER.
 - CATCH BASIN SEDIMENT SOCKS SHALL BE 18" INSERTS AS MANUFACTURED BY ULTRATECH OR APPROVED EQUAL.
 - ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE REMOVED AFTER SOILS HAVE BEEN STABILIZED BY PAVING OR MATURED VEGETATION.



2 DETAIL - SILT FENCE - NEW

- 3/4" = 1'-0"
- NOTES:
- NOVEN WIRE FENCE MESH SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL (EITHER "T" OR "U" TYPE) OR HARDWOOD.
 - FILTER FABRIC SHALL BE FASTENED SECURELY TO NOVEN WIRE FENCE MESH WITH TIES SPACED EVERY 24-INCHES ALONG THE TOP AND MID-SECTION. FENCE SHALL BE NOVEN WIRE WITH 6-INCH MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 6-INCHES MINIMUM AND FOLDED. FILTER FABRIC SHALL BE FILTER X, MIRAFL 100X, STABILINKA 1140N, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIRONMENTAL, OR APPROVED EQUAL. MAINTENANCE SHALL BE PERFORMED AS INDICATED ELSEWHERE IN THESE DRAWINGS AND OTHERWISE AS NEEDED. MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

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REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
1	5-8-25	ADDED NOTES
2	5-15-25	ADDED SPOT ELEVATIONS AT PROPERTY CORNERS

SOIL EROSION CONTROL PLAN AND DETAIL

PROJECT NUMBER: 2407
ISSUE DATE: MAY 8, 2025
DRAWN BY:
CHECKED BY: BL